



wirraglen  
*highfields*

*Design Guidelines*

Version 1





# Contents

1.0 Overview .....	2
1.1 Developer Approval .....	3
1.2 Submission Requirements .....	3
2.0 Lot Planning .....	4
2.1 Siting & Orientation .....	5
2.2 Site Coverage .....	6
2.3 Outdoor Living and Private Open Spaces .....	6
2.4 Corner Lots .....	6
3.0 Architectural Attributes & Street Appeal .....	8
3.1 Mass & Articulation .....	9
3.2 Built Form Variety .....	9
3.3 Roof Design & Materials .....	10
3.4 Ceiling Heights .....	10
3.5 Front Door & Windows .....	10
3.6 Vehicle Accommodation .....	11
3.7 External Materials & Finishes .....	11
4.0 Outbuildings & External Fixtures .....	12
4.1 Driveways .....	13
4.2 Sheds .....	13
4.3 Rainwater Conservation .....	13
4.4 Fences .....	14
4.5 Other Ancillary Structures & Building Services .....	16
4.6 Retaining Walls .....	16
4.7 Letterboxes .....	17
4.8 NBN .....	17
5.0 Landscaping .....	18
6.0 Environmental Sustainability .....	20
6.1 Solar Access .....	21
6.2 Natural Ventilation .....	21
6.3 Thermal Efficiency .....	21
7.0 Site Management .....	22
7.1 During Construction .....	23
7.2 Construction Timelines .....	23
7.3 Maintenance .....	23
7.4 Signage .....	23
Glossary .....	24
Appendix A .....	25



## 1.0 Overview



Congratulations on joining the Wirraglen community.

The principal aim of these Design Guidelines is to assist Land Owners to optimise the design outcome and presentation of their home and to protect their investment.

Application of the Design Guidelines ensures that homes at Wirraglen are built to a high standard in a pleasant and cohesive living environment. They encourage homes that are innovative and individualised to create a diverse and interesting community, whilst remaining sympathetic to the local streetscape and playing a part in the establishment of safe neighbourhoods. This in turn, enhances the investment and future value of homes for all residents.

The Design Guidelines form part of your Land Sales Contract and you have an obligation to comply with these guidelines. The guidelines should be read in conjunction with the contract Building Covenants, Queensland Development Codes and applicable local government regulations.

## 1.1 Developer Approval

All home designs must be approved by the Wirraglen Design Review Panel (WDRP) prior to lodging for any Building Permit or commencing any construction Works. The application process, as set out on page 27, allows the WDRP to thoroughly assess your home design to ensure that it achieves the best possible outcome for you and reflects the vision for Wirraglen.

Interpretation of the Design Guidelines is at the discretion of the WDRP. The Design Guidelines can be amended or added to as required to reflect changes in design trends. Applications for WDRP approval will be assessed against the current version of the Design Guidelines.

Allowance has been made for two submissions for each Design Approval Application. Each additional application may incur an administration fee, at the sole discretion of the WDRP.

The WDRP will respond to your submission without delay, typically within 7-10 business days, depending upon the nature and completeness of your submission.

## 1.2 Submission Requirements

You are required to provide the following documents for review by the WDRP.

a) Design Approval Application Form

b) Site plan at minimum 1:200 scale:

Showing proposed structures (including pools and spas), setbacks from all boundaries, fencing locations, outbuildings and service areas, site levels and retaining wall details, driveway and path areas.

c) Floor plan(s) at minimum 1:100 scale:

Including roof plan showing eaves overhang and pitch, internal layout, proposed floor levels and any pergolas, decks, terraces, balconies and verandas adjoining the dwelling.

d) Elevations at minimum 1:100 scale:

Including building and roof heights, roof forms and pitch, ceiling heights, details of windows, doors and other openings. Exterior materials and finishes should be noted on the elevation drawings.

e) Landscaping plan at minimum 1:200 scale:

Including indicative extent of all hardscape and softscape, driveway location and material, as well as a planting schedule that lists all proposed species referenced in the landscape plan.

Note: The landscaping plan may be prepared by hand sketching the landscape design on a copy of the site plan.

f) Fencing Details:

Provide plans and elevations of street boundary fencing, indicating materials, height, finishes, distance to boundary, planting associated with the fence if applicable, gates, gate houses or any other entry statement.

g) Finishes and Colour Schedule:

Provide details of all proposed external materials and colour selections. Provide where available, samples or images of each selection including garage and front doors, and letterbox.



Image: Johnny Cohen / Unsplash

## 2.0 *Lot Planning*

Where possible each dwelling should be designed to maximise the advantages and natural characteristics of the site.

Solar angles, views, prevailing breezes, relationship to the street, open space, landscaping, adjoining dwelling type and locations, should all be considered to create a climate responsive design solution.

## 2.1 Siting & Orientation

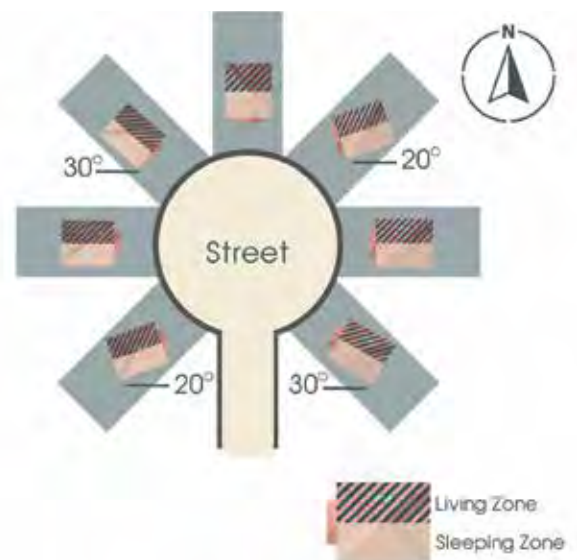
### Recommendations:

- Designing and siting around existing land contours is encouraged.

### Requirements:

- The allotment is to be used for a single dwelling unless otherwise approved by the Developer and then the Toowoomba Regional Council.
- Minimum building setbacks are to comply with the Queensland Development Code MP1.2 - design and siting standards for single detached housing on lots 450m<sup>2</sup> and over. Any changes to setbacks will require Council approval.
- Orientate the dwelling so as to locate internal and external living areas to the north where possible.
- Orientate and design the dwelling to capture breezes and maximise ventilation.

- Design the dwelling to have either a living room, dining room, bedroom window or balcony overlooking the street.
- Site the home to achieve cut and fill limited to 1.2m above or below natural ground level.
- Adequate provision must be made to intercept overland flow affected by siteworks to prevent damage and nuisance to adjoining or downstream properties.
- Dwellings on allotments that are visible from public spaces must present an attractive appearance to that open space. Such dwellings must also integrate design treatments to enable casual surveillance over parks to facilitate security of the neighbourhood.





## 2.2 Site Coverage

### Recommendation:

- The site coverage should provide sufficient space for:
  - Pedestrian and vehicle access and parking;
  - Storage and clothes drying;
  - Private open space and landscaping; and
  - Front, side and rear boundary setbacks.
- Dwelling size should be a minimum of 190m<sup>2</sup>. This includes garages, covered porches, verandas and patios.

### Requirements:

- Buildings should generally not exceed 50% site coverage.

## 2.3 Outdoor Living and Private Open Spaces

### Recommendations:

- Outdoor private space should have a strong connection with indoor living areas. When siting and designing your home, consideration should be given to future use of all outdoor areas.
- Outdoor living areas should where possible, be north facing to soak up the winter sun and offer protection from summer heat.

### Requirements:

- A minimum of 20% of the allotment area is required for private open space directly accessible from the living areas of the dwelling.



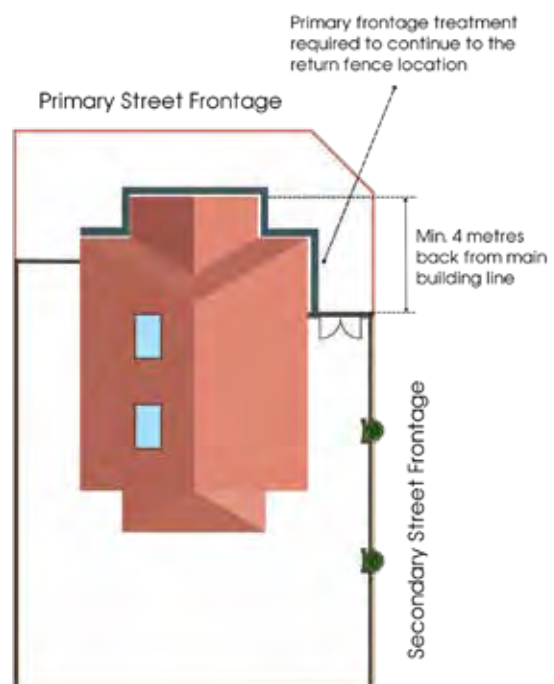
Image: Steven Ungermann / Unsplash

## 2.4 Corner Lots

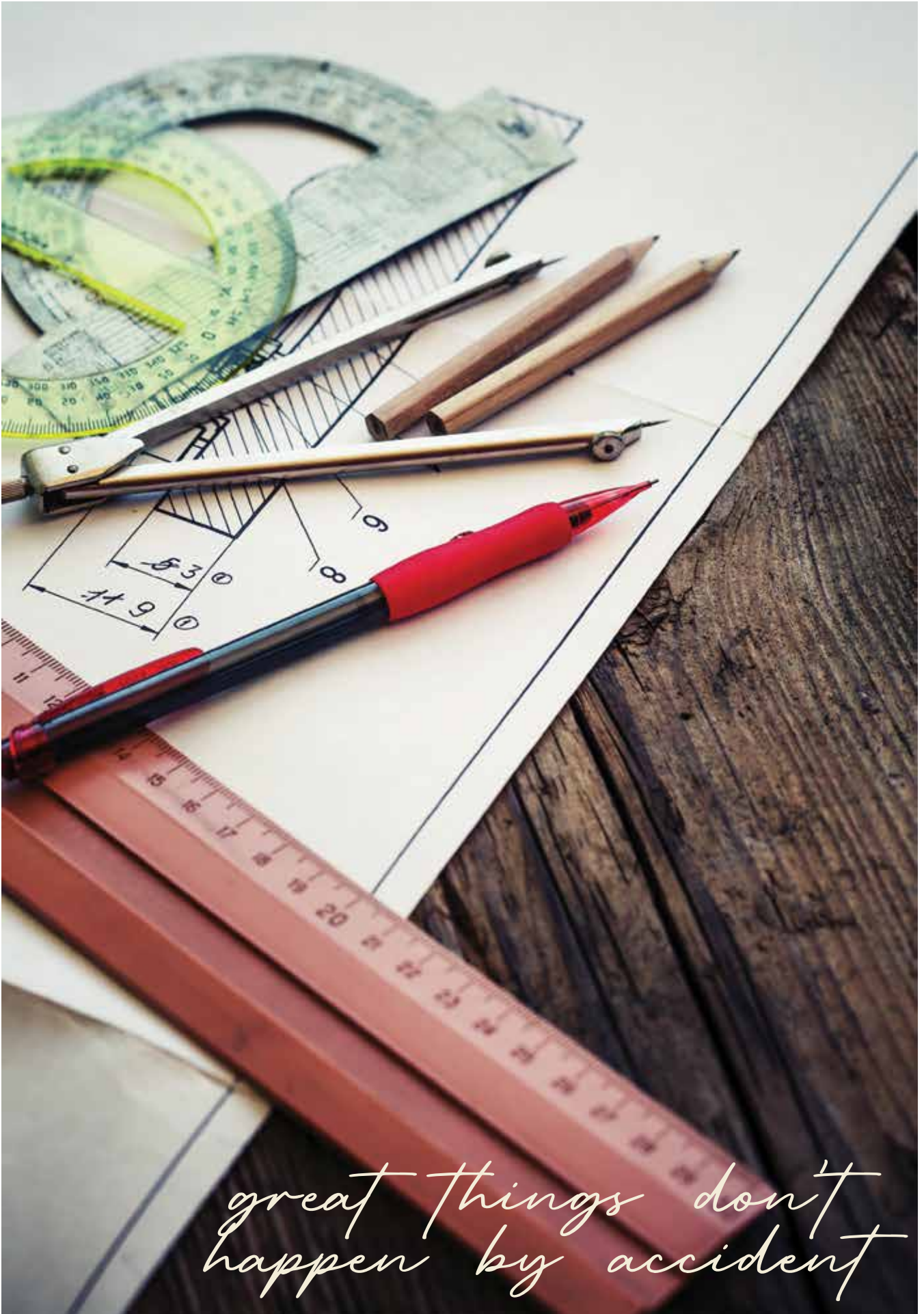
Corner lots have a significant impact on neighbourhood character and it is therefore important that they address their prominent position in the streetscape, while contributing to the creation of an attractive, safe, living environment.

### Requirements:

- For corner lots the primary street frontage is the frontage that has the lesser length.
- Corner lot homes must be designed to ensure the dwelling addresses both the primary and secondary street and any adjoining public open spaces.
- The appearance of both the front and side of the home must be consistent in material and design quality.
- Primary elevation materials/colours must continue to the return fence location on the secondary elevation to provide consistency in street front aesthetic.
- The dwelling must have at a minimum, one window (major opening) within a habitable room facing the secondary street, facilitating continued passive surveillance and street activation.
- Where designs locate the pedestrian access point to the primary street and the vehicular access point on the secondary street (subject to Council approval), both streetfront elevations will be required to meet the design guideline requirements for houses with a single street frontage.
- Meter boxes should be located on the wall that does not face the street.







*great things don't  
happen by accident*



Image: R Architecture / Unsplash

### 3.0 Architectural Attributes & Street Appeal



The architectural style and detail of your home plays a role in defining the form and character of the street.

It is important to ensure that your home is complementary to the overall streetscape. A forward-facing entry and the presence of windows, promote opportunities for social interaction and contribute to street activation and passive surveillance.

### 3.1 Mass & Articulation

#### Recommendations:

- Use of façade articulation detail such as recessed windows, balconies or porch, screens and architectural hoods, will assist in reducing building mass.
- Ideally the front entry point feature should have a minimum covered area of 4m<sup>2</sup> and a minimum depth of 1.5m.
- Design the dwelling with varied front setbacks to articulate the façade.

#### Requirements:

- Each dwelling must incorporate a prominent front entry point that is readily visible from the primary frontage.
- The front entry point may take the form of a portico, veranda or other translucent feature. It must protrude forward from the main building line.
- Two storey dwellings must incorporate elements such as balconies or protrusions, to articulate the front façade.
- No dwelling is to be built with any exposed stumps.

### 3.2 Built Form Variety

#### Recommendations:

- Diversity of built form is encouraged and assists to avoid a monotonous streetscape. To help promote a sense of identity for each home, each dwelling should be noticeably and obviously different from the other dwellings nearby.

#### Requirements:

- Similar façades are not permitted within 3 lots of each other, along both sides of the street.
- If, in the opinion of the WDRP, two dwellings are too similar, the earlier of the two applications will take precedence.
- Submission can be made to the developer to determine whether a similar style façade is proposed to be used within a street. Similar façades will only be allowed if the developer is satisfied that there is sufficient variance in the appearance, which may be achieved through variation of colours and materials.

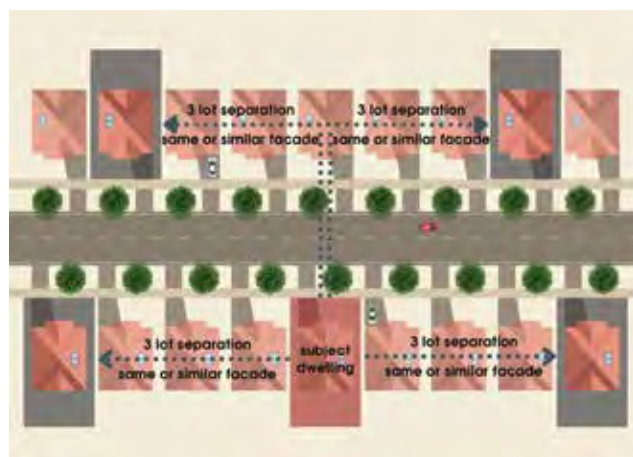


Image: Metricon

### 3.3 Roof Design & Materials

#### Recommendations:

- Roof designs and materials should be complementary to the overall house design.
- Ideally, dark colours should not make up the main colours of roofs.
- Pitch roofs are preferred, but flat (screened by a parapet) and skillion roofs with a pitch of between 10° and 15°, will be considered if they complement the style of the dwelling.
- Achieve greater energy efficiency by constructing deeper eaves to provide shade in the summer months.
- Where possible, provide at least 40m<sup>2</sup> of roof angled towards the north, preferably not visible from the primary frontage, to allow for successful placement of photovoltaic panels.

#### Requirements:

- Roofs must be articulated and incorporate elements such as hips and gable to provide visual interest.

- Hip or gable end roofs must have a main roof pitch of at least 25°, while steeper pitches are encouraged for homes with a narrow frontage.
- All roofs must incorporate a minimum eaves width of 450mm to the extent of the dwelling, unless architectural merit demonstrates otherwise.
- Roof cladding must complement the style of the home. Acceptable materials include:
  - Pre-finished metal roof sheeting such as Colorbond® steel; and
  - Low profile roof tiles.
- Roof materials must be matte finish and not reflective. Galvanised, zincalume or unfinished roof materials and rainwater fixtures are not permitted.
- Gutters, downpipes, cappings and all flashings must be made from Colorbond® steel or similar.



### 3.4 Ceiling Heights

#### Recommendations:

- A ceiling height of 2700mm above floor level is highly recommended as they exhibit more appealing street façades through raised eaves lines. Internal rooms also feel open and more spacious.

#### Requirements:

- Dwellings must have a minimum ceiling height of 2550mm above floor level.

### 3.5 Front Door & Windows

#### Requirements:

- Proper internal window furnishings must be installed to all street elevations within six months of occupation.
- The use of canvas awnings, aluminium roller shutters or similar to windows, is prohibited unless expressly approved by the WDRP.
- Front entry doors are required to include any type of glazing, or to include a sidelight.



### 3.6 Vehicle Accommodation

#### Recommendations:

- Highlight windows on garage doors are encouraged.

#### Requirements:

- Garages must be integrated into the overall form of the dwelling. Carports and open sided garages are not permitted.
- Garage doors are to be designed to reduce their dominance through the use of building articulation.
- Garage doors must be either a panel lift, sectional overhead or similar type in a colour that complements the dwelling. Roller doors addressing the street are not permitted.
- Garages must provide as a minimum, two car accommodation with a max. width of 7m.
- Triple garages in a continuous line while addressing the street, will not be permitted. Triple garages must have a split or articulated façade sufficient to prevent the doors from appearing in a single plane.
- The width of the garage door must not exceed 40% of the width of the allotment frontage.
- Garages should be stepped back a minimum of 500mm from the front wall of the dwelling. This distance is measured from the front building line, not from porches, verandas etc. Garages forward of the main dwelling may be accepted based on merit.
- Garages must be set back at least 6.0m from the front boundary to accommodate visitor parking.
- Vacant and developed allotments may not be used to store the following in public view: Trucks, trailers, caravans, boats, containers, livestock or anything else that will be detrimental to the surrounding streetscape and amenities.

### 3.7 External Materials & Finishes

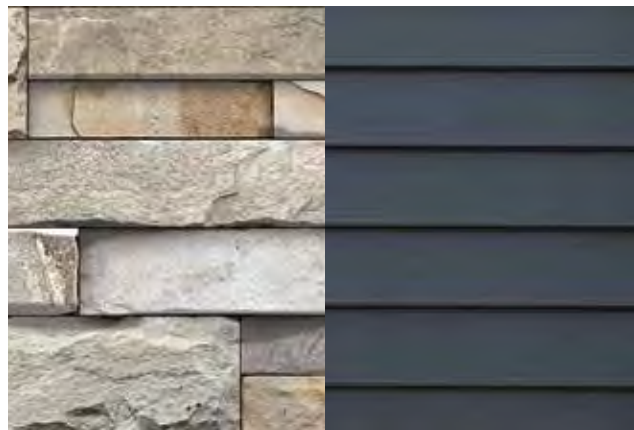
#### Recommendations:

- Colour schemes should adopt a palette of muted natural tones.
- Where weatherboards are proposed, wider profile boards are encouraged (min 185mm).

#### Requirements:

- Details of all external colours and materials must be included in the Design Approval Application.
- The front façade must be finished with a mixture of external materials and finishes.

- A combination of between 2 and 4 complementary building materials, and 2-4 complementary colours, are required to provide texture and articulation (excludes colours and materials used on the roof, windows and any doors). Any designs unable to meet this criteria will be considered based on merit.
- Bright, fluorescent or primary colours are not permitted.



- Approved materials or finishes include:
  - Rendered brickwork
  - Masonry blocks
  - Fiber cement sheet modular cladding - rendered and painted texture finish
  - Weatherboard or profiled timber lining
  - Profiled Colorbond® steel cladding
  - Stone cladding
  - Feature tiling
  - Timber lined ceilings and eaves
  - Other materials at the discretion of the WDRP
- Face brick will only be considered if it is a feature brick or a specialty type. Face brick will not be approved as the predominant street front material.
- Reflective glazing, or glazing with applied film, is not permitted.
- Untreated materials that are raw and reflective are not permitted.
- Where timber posts are proposed to façades, raised stirrups are not to be used if they are visible to the street or public open spaces.
- Ancillary items such as pergolas, balustrades and other minor architectural feature items, must complement the colour of the façade.
- The front façade and secondary frontage must not include recessed lightweight infill panels above doors or windows.
- External walls that are visible from the street or public open spaces, should be constructed in materials consistent with the front façade of the dwelling.



Image: Liubov Ilshuk / Unsplash

## 4.0 *Outbuildings & External Fixtures*



## 4.1 Driveways

### Recommendations:

- Permissible colour schemes should incorporate beige or grey tones. Refrain from using red or cream tones.
- Where possible, clearly differentiate between pedestrian access and vehicular access.
- An enveloper conduit could be installed under the driveway, to accommodate future irrigation for the landscape required between the driveway and the side boundary.

### Requirements:

- Each allotment must have a maximum of one cross-over/driveway per frontage.
- The removal of street trees to install driveways is not permitted.
- Driveways must extend from the kerb edge to the garage.
- Driveways must not exceed 4.5m in width at the crossover.
- Driveways must not be wider than the garage door where they meet the garage and must taper to the width of the crossover at the boundary.
- The crossover must be constructed of the same material as the driveway (unless installed by the Developer).
- Driveways must be constructed from either:
  - Exposed aggregate concrete;
  - Brick or natural stone paving; or
  - Coloured-through concrete (including patterned).
- Plain (uncoloured) and painted concrete driveways are not permitted.
- Driveway colours should be muted.
- The driveway must be set back a minimum of 500mm from the side boundary to provide a strip for landscaping.



- Where footpaths are provided, driveways must be carefully constructed to abut each side of the footpath. They must not cut through existing footpaths.
- The driveway must be constructed prior to the occupancy of the dwelling.

## 4.2 Sheds

### Recommendation:

- Preferably, additional storage should be incorporated within the garage design.

### Requirements:

- Sheds, storerooms and outbuilding are not permitted to be located in the front of your home addressing the streetscape, nor visually impact adjacent parks or public open spaces.
- Any outbuildings, sheds, or studios must be constructed from a material that matches or complements the appearance of the dwelling in form, colour and materials.
- If less than 10m<sup>2</sup> in area, sheds & outbuildings must be located behind the side returned fence and screened from public view.
- If more than 10m<sup>2</sup> in area, sheds and outbuildings must:
  - Have WDRP and Council approval;
  - Have a maximum height of 3.6m at the ridgeline (from natural ground level);
  - Have a maximum height of any perimeter wall, excluding the gable infill of 2.7m measured from natural ground level; and
  - Not be located in the Front Garden area.

## 4.3 Rainwater Conservation

### Recommendations:

- Incorporate plumbing fixtures and appliances with a maximum WELS star rating.
- Use rainwater tanks for toilet flushing and irrigation.
- Install sub-surface irrigation systems or drippers for your garden.

### Requirements:

- Installations of rainwater tanks must be addressed in accordance with Council requirements and Queensland Development Code 4.2.
- The maximum height of any rainwater tank is to be 2.4m.
- Water tanks must be located to minimise visual impact on public areas and to maximise collection of water.
- All tanks and accessories must be colour matched to the dwelling.
- The overflow from all tanks must be directed via underground stormwater pipes to the street or to rear of lot drainage. Where inter allotment drainage is unavailable, the discharge must be at least 3m from a property boundary and 3m from the dwelling.

## 4.4 Fences

### Recommendations:

- Hedges and other forms of soft landscaped borders are encouraged as an alternative to structural front fencing and fencing forward of the building.
- It is encouraged to include a gate in any return fencing however, access to the rear yard may also be directly from the garage.

### Requirements:

#### General

- All fencing details must be included as part of the Design Approval Application.
- Dividing, return and rear fences behind the building alignment are required to be a maximum of 1.8m in height and constructed of alternate lapped and capped timber palings.
- All timber paling fencing must be CCA treated hardwood. Pine fencing is not acceptable.
- Dividing fences along common property boundaries must return at 90° to the dwelling at least 1 metre behind the front building line.

- Side fencing forward of the dividing fence is only permitted if accompanied by front fencing and must comply with the front boundary fencing requirements outlined below.
- Side gates must not be wider than 2.6m.
- Any gate in a fence must match or complement the fence in terms of materials and finishes.
- Dividing and return fencing may be painted provided approval is given by the WDRP. The fence may only be painted in one of the following Colorbond® colours:



- If the allotment has existing feature estate fencing installed by the Developer, the owner must not remove, damage or disfigure it and must maintain it in good condition.
- All heights are measured above natural ground level.



Image: Metricon

#### For corner allotments:

- Fencing to the secondary frontage is not encouraged. If required for security or privacy purposes, then boundary fencing may commence 4 metres back from the main building line along the remaining length of the secondary frontage of the dwelling.
- Boundary fencing on the secondary frontage must be a maximum of 1.8 metres in height

and stepped at least every 10 metres to incorporate a garden bed measuring 1.0m x 0.5m deep as a minimum. This fencing must be constructed of street facing exposed timber posts and rails, lapped timber palings and include timber capping.

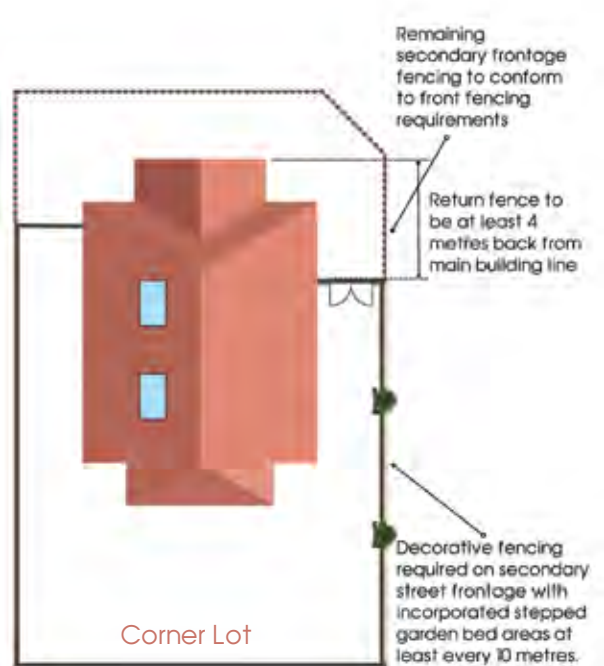
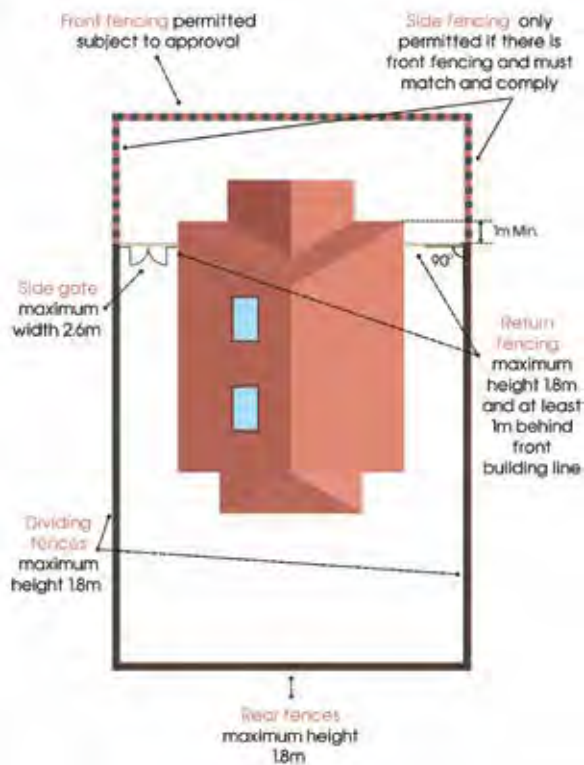
- If the remainder of the secondary frontage is fenced, it must have a maximum height of 1.2 metres and conform to the front boundary fencing requirements below.



Front boundary fencing:

- Front fencing although not encouraged, is permitted subject to approval.
- Fencing must be open style in nature and approximately 40% visually permeable above 300mm high, to enable views into the front garden.
- Materials and colours must be consistent and complementary to the primary street elevation's finishes.
- Timber paling fence is not acceptable for front fencing unless painted to complement the colour scheme of the dwelling façade.

- The proposed front fence must return along the side boundary and extend to meet the dividing fence.
- The maximum fence height permitted is 1.2 metres and the minimum height is 0.9 metres.
- Masonry piers may extend above the fence to a maximum height of 1.5m.
- The front fence shall incorporate a pedestrian entry gate that matches the colours and materials used in the front fence.



## 4.5 Other Ancillary Structures & Building Services

### Recommendations

- Photovoltaic cells, solar hot water heaters and the like, are encouraged and may be located to maximise efficiency so long as they integrate with the roof form.

### Requirements:

- The location of all service-related structures must be indicated on the plans as part of the Development Approval Application.
- Photovoltaic panels must be located to minimise their visibility from the street and must be parallel to the roof (not on retractable mounts).
- Tanks of solar hot water systems must not be visible from the street.
- All heating and cooling units must be located towards the rear of the dwelling and not be readily visible from the street. If they are located on the roof, they must be positioned below the ridge line, coloured to match the roof and not be visible to the primary street (or secondary street, if a corner allotment).
- Bin storage and clothes drying areas shall be sited unobtrusively and must not be directly visible from the street.
- Meter boxes must not be visible from the street unless they are painted to match the mounting wall colour.
- Satellite dishes, and TV antennas must be located within the roof space or positioned so that they are not visible from the primary road frontage.

## 4.6 Retaining Walls

### Recommendations:

- Designing around existing land contours is encouraged.
- Thought should be given to providing a landscaping strip of approximately 300mm in front of any retaining wall to soften the height.

### Requirements:

- Retaining walls exceeding a maximum height of 1.0m must be designed and supervised by a structural engineer in accordance with Council regulations.
- All retaining walls must have subsoil drainage.
- Acceptable retaining wall finishes include:
  - Stone cladding
  - Rendered masonry
  - Link masonry blocks
  - Concrete sleepers with an appropriate applied finish and galvanised support columns (not permitted if visible from the street)
- Retaining walls constructed from timber sleepers are not preferred and are not permitted where they are visible from the street.





## 4.7 Letterboxes

### Requirements:

- Letterboxes must complement the dwelling in terms of materials, colour and style.
- Single post or unsupported letterboxes are not permitted.
- Where front fencing is erected, the letterbox must be integrated into the fence design.
- Letterboxes must be completed in line with occupancy.
- No temporary letterboxes are acceptable.



## 4.8 NBN

NBN Co. will install fibre in this new development. It is important that homes while under construction, are prepared in accordance with the NBN Co.'s Preparation and Installation Guide. This will ensure that equipment required to deliver the network can be successfully installed within a dwelling to eliminate the possibility of additional work and costs.

<https://www.nbnco.com.au/content/dam/nbnco/documents/preparation-and-installation-guide-for-sdus-and-mdus.pdf>



Image: Michelle dot com / Unsplash



## 5.0 *Landscaping*



Front yard landscaping adds to the overall appeal of the streetscape, enhancing everyone's experience and enjoyment.

Importantly, well-considered and attractive landscaping enhances the value of your home and your family's living quality.

Planting trees and shrubs alongside your home helps reduce heat absorption and helps shade your home from the sun. Landscaping near lot boundaries assists in providing additional privacy.

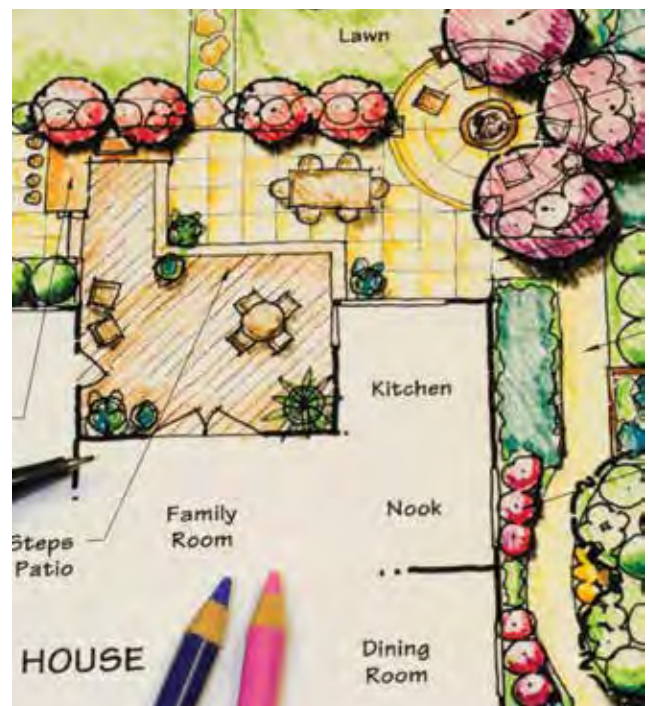
### Recommendations:

- Consult qualified landscape designers, local nurseries and horticulturalists, to optimise landscape design outcomes.
- Plant species selections should take into consideration the specific climate, aspect and soil conditions of the site.
- Planting edible and drought-tolerant plants is encouraged.
- Use deciduous trees in north facing areas to permit winter sun to permeate the home and provide shade in summer.
- Include canopy trees with a maturity height of 5-6m to create a leafy neighbourhood and provide shade.
- Lawn areas should not exceed 70% of the front yard softscape garden area.
- Consider installing water taps at both the front and rear of your home to irrigate gardens and trees.
- Connecting to a well-designed water reticulation system for the first two years will assist while gardens are becoming established and provide for additional watering during summer.
- Front garden trees should be aligned between street trees where possible to form a backdrop to the street planting.
- Completion of front garden landscaping prior to occupancy is preferred.

### Requirements:

- A landscape plan is required as part of the Design Approval Application.
- Landscape planting designs, particularly as they include tree planting, must consider neighbouring lots in terms of privacy, view and vista.
- Landscape elements must not interfere with utility services and must maintain a degree of passive surveillance of entry points to the dwelling.

- Your front garden must include plants of various colours, textures and sizes.
- A minimum of 50% of the front garden must provide permeable surfaces, including but not limited to:
  - Grass
  - Garden Beds containing trees, shrubs and tufting plants
  - Ground covers
  - River pebbles or similar
- At least one canopy tree with a minimum installation height of 2m/45lt pot, must be planted between the front building line and the street boundary.
- Paths must be a minimum of 1.0m wide and terminate at the property boundary.
- All garden beds should be at least 500mm wide.
- A minimum of 500mm wide planting strip is to be provided between the driveway and the side boundary.
- All gardens must be mulched to a depth of 100mm and edged.
- Front gardens that include areas of grass must be turfed (not seeded).
- Artificial turf is not permitted in the front garden.
- Good quality landscaping and suitable plant selection for gardens visible to the public, is required to be established within three months of occupation (unless during summer, then by 30th April).
- All landscaping must be regularly maintained in a standard consistent with surrounding dwellings.





## 6.0 Environmental Sustainability



Applicants are encouraged to submit climate responsive designs.

Achieving passive solar design and thermal comfort is largely a product of optimal siting based on the orientation of your allotment so that your home has solar access during winter for heat gain and is shaded during summer.

Lots on the north side of the street will have sunny backyards, good for private outdoor living, whilst lots on the south side of the street will have sunny front yards, great for showpiece front gardens. Lots facing east/west will have sunny side yards and homes should be sited to ensure maximum outdoor living along the northern boundary.

To optimise your home's design, select a house plan that meets as many of the following elements as possible.

## 6.1 Solar Access

- Living rooms to be on the north facing side of the dwelling so that the thermal mass in your floor slab can be heated by the winter sun and radiate heat during the evening.
- Provide deeper eaves, alfresco areas, or patios on the east or west sides of the dwelling to assist shading from summer sun.
- Garages to be on the west or east sides to insulate against solar heat gain during summer.
- Position laundries, bathrooms and some bedrooms that require less access to sunlight, on the south side to provide cooler sleeping wings.
- Consider the size of windows (e.g. not to the floor) on the east, west and south sides of the dwelling. Or for larger windows, have e-glass, double glazing or similar, to reduce summer heat loads.
- Windows to be maximised on north facing walls to permit entry of winter sun.
- Design roof orientation and pitch to enable effective use of solar collectors.
- Plant gardens alongside east and west walls to reduce heat absorption by the dwelling façade and to provide shade from the summer sun.
- Utilise shading devices or deciduous trees that can shade summer sun and allow winter sun to penetrate.

## 6.2 Natural Ventilation

- Ensure breezes can flow through the home via cross ventilation.
- Place smaller windows on the side of your home that gets most wind and larger ones on the opposite side to encourage airflow.
- Add roof ventilation such as vented gables, e-vents or wind activated mechanical ventilators, to help airflow.
- Provide high-level windows in multi-level homes to allow for heat removal.

## 6.3 Thermal Efficiency

- Use wall insulation.
- Ensure roof insulation extends to the eaves.
- Seal any draughts (weather seals on external doors etc).
- Design your home so that the living and sleeping areas are compartmentalised meaning you can better control temperature in each area.

Implementing these features can result in financial savings to the homeowner by reducing heating and cooling costs.



Image: Beazy / Unsplash



## 7.0 Site Management



## 7.1 During Construction

### Recommendations:

- Installing temporary fencing on vacant allotments assists in keeping the site clean and ensuring existing infrastructure is not damaged by unauthorised site access, storage of site materials and rubbish disposal.

### Requirements:

- It is the Land Owner's/Builder's responsibility to ensure that the site is well maintained during construction and to avoid unsightly litter and waste material associated with the construction of a dwelling becoming loose and scattered.
- All light wastes (plaster and cement bags, plastic, wrappings etc.) shall be secured and placed in a covered rubbish skip on site.
- All building materials and wastes associated with any building site activity must be stored and contained on the allotment until proper disposal can be effected.
- The owner/builder shall not place any rubbish, including site excavations and building materials, on adjoining land, reserves or in any waterways.
- Storage of site materials and vehicle access to support construction, not within your allotment, can be completed with prior written approval from the affected lot owner.
- Although uncommon, illegal access to your allotment should be reported to Council and/or relevant authorities.
- Footpaths and nature strips are to be kept free from building materials during construction.
- It is the Land Owner's/Builder's responsibility to ensure that street trees, footpaths and nature strips are protected during the construction period. The Land Owner will incur penalty for any destruction or damage to trees or verge turf.

## 7.2 Construction Timelines

### Requirements:

- Construction of the dwelling is to commence within 12 months after settlement of the land sales contract.
- Best endeavours are to be undertaken to complete construction of the dwelling within 12 months of the build commencement.
- Incomplete building work must not be left for a period of more than 3 months without work being carried out.

## 7.3 Maintenance

### Requirements:

- Grass on vacant and developed allotments is to be regularly cut and maintained.
- Gardens and grass are to be kept free of pests, disease and weeds.

## 7.4 Signage

### Requirements:

- Signage to advertise the sale of a vacant allotment is not permitted, other than any sign that relates to the sale of such lot by the Developer.
- Builders or tradesperson identification signage (maximum 600mm x 600mm) must be removed within 10 days of the issue of the Certificate of Occupancy.
- One sign only, with a maximum area of 1.5m<sup>2</sup> may be used to advertise the sale of the dwelling. These signs must be removed within 10 days of the property being sold.
- No other advertising signage is permitted on either vacant land or occupied allotment.
- Signs for dwelling names and home businesses must not exceed 200mm.
- No handwritten/ illuminated signage is permitted.



# Glossary

**Articulation** means both horizontal and vertical projection forwards and back from the primary building face.

**Building Covenants** are rules regarding the type of building that can be built on the land that formed part of the Land Sales Contract.

**Building Permit** refers to a Building Development Approval as issued by Council.

**Buyer** is as defined in the Land Sales Contract and the Land or Home Owner in relation to the Land.

**Construction Plans** are those plans and specifications outlined in paragraph 1.2 of the Design Guidelines.

**Council** means Toowoomba Regional Council.

**Design Approval Application Form** refers to the document located at Appendix A, forming part of the submission requirements.

**Design Guidelines** mean the set of minimum guidelines with which all home designs must comply.

**Developer** means Wirraglen Holdings Pty Ltd and more broadly Hallmark Property.

**Frontage** means the road alignment at the front of a lot.

**Front garden** includes any area between the building line and the front boundary of a lot that is visible from the street.

**Land** is that allotment identified in the Design Approval Application Form.

**Land Owner** means the person or persons that own the Land.

**Land Sales Contract** means the Contract between the Seller and Buyer in respect of the Land.

**Seller** means Wirraglen Holdings Pty Ltd ACN 640 352 398.

**Wirraglen Design Review Panel (WDRP)** means person/s selected by the Developer to review and approve all Construction Plans in accordance with the Design Guidelines.

**Works** mean any building operation including landscaping.

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## Disclaimer

All care has been taken to ensure that the Design Guidelines comply with current building legislation. However, the Land Owner is responsible for ensuring compliance with statutory requirements.

Whilst the Developer will endeavour to ensure compliance with these Design Guidelines wherever possible, the Developer will not be responsible or liable to any person for any loss, damage, or injury arising whether directly or indirectly, from any noncompliance with these Design Guidelines.

The Developer may from time to time, in its absolute discretion, vary, relax or waive any of the requirements under these Design Guidelines to reflect changes in development, construction practices and planning regulations. In the event that the Developer allows a dispensation from the application of the Design Guidelines, the dispensation will not set a precedent, nor imply that the approval will be repeated.

The purpose of images and illustrations contained within this document is to illustrate the Design Guidelines that they apply to only. In the case that an image or illustration does not fully comply with the Design Guidelines this will not over-ride the wording or intent contained within this document, and approval for same will not be granted.



# Appendix A

## Design Approval Application Form



This document is to be completed and submitted to [design@wirraglen.com.au](mailto:design@wirraglen.com.au) along with the remaining Submission Requirements as listed at paragraph 1.2.

In accordance with the conditions of the Land Sales Contract and Wirraglen Design Guidelines entered into with Hallmark Property, I hereby seek approval for the design and materials proposed to be used for the building set out hereunder:

### Land Owner Details

Name	
Current Address	
Phone	
Email	

### Architect/Building Designer Details

Company Name	
Contact	
Address	
Phone	
Email	

### Builder Details

Company Name	
Builder	
Address	
Phone	
Email	

### Lot & House Details

Lot Number			
Street Address			
Building Model			
Floor Area		% Site Coverage	

By submitting this application form to the WDRP, I acknowledge the following:

- My building designer is aware of the Wirraglen Design Guidelines;
- I understand that my house design must comply with all sections of the Wirraglen Design Guidelines;
- Approval by the Wirraglen Design Review Panel (WDRP) does not guarantee my design complies with the requirements of the Toowoomba Regional Council and other statutory requirements including within the Queensland Development Code; and
- My house design will need to be resubmitted for assessment under the Wirraglen Design Guidelines if the design changes following approval.

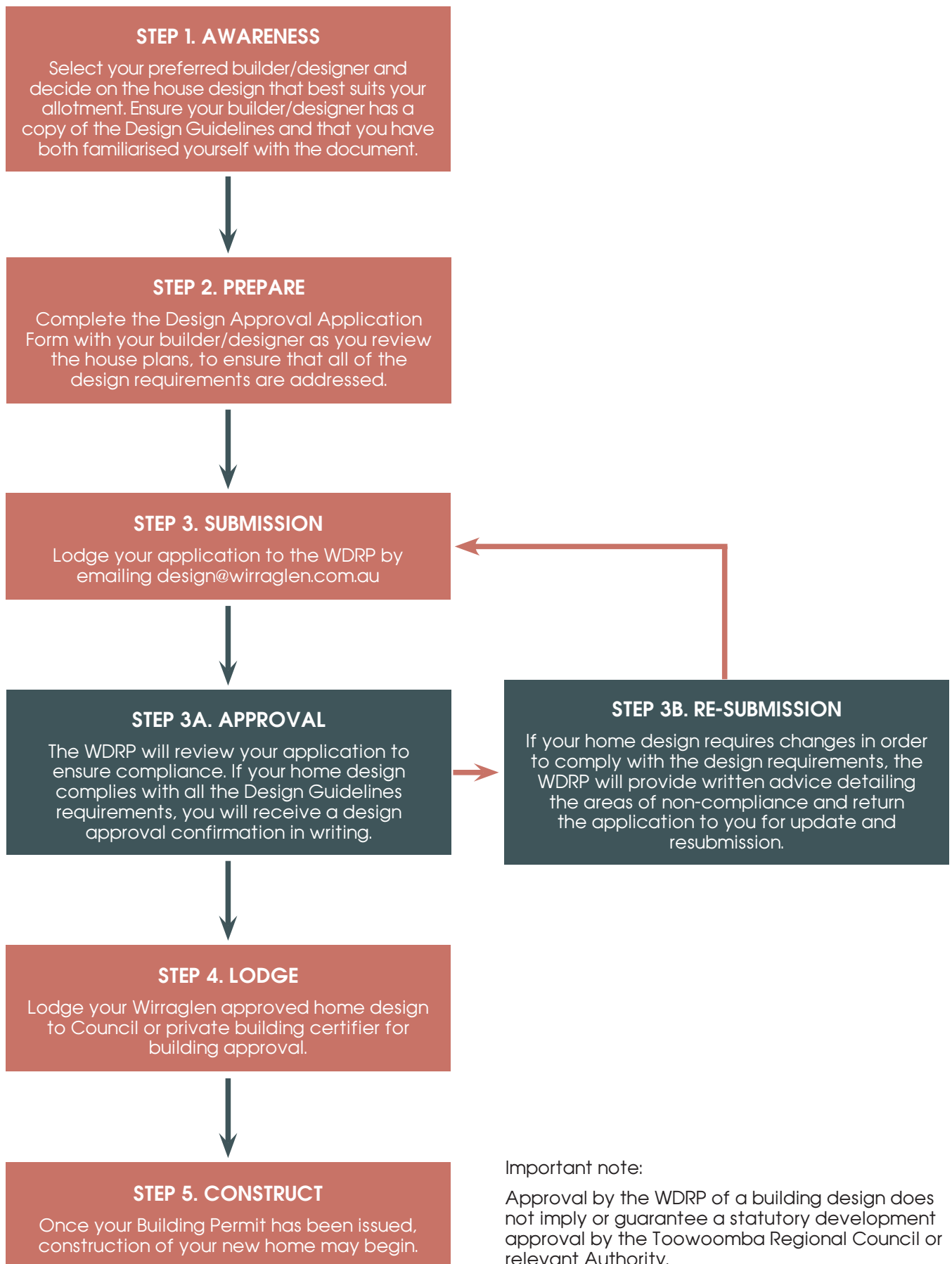
Signed (owner/builder/designer) \_\_\_\_\_

Date \_\_\_\_\_





# Wirraglen Design Review Panel Approval Process





0455 512 666  
design@wirraglen.com.au

[wirraglen.com.au](http://wirraglen.com.au)





ANOTHER QUALITY  
DEVELOPMENT BY



HALLMARK  
PROPERTY



wirraglen  
*highfields*